



THE BEST INSPECTOR PTY LTD

0406603889

info@thebestinspector.com.au

<https://thebestinspector.com.au/>



BUILDING & PEST INSPECTION COPY

30 Sample St
Sydney , NSW 2000

John Smith
08/08/2024



Inspector
Alex McNeill
Building & Pest Inspector
0406603889
info@thebestinspector.com.au

TABLE OF CONTENTS

1: Overall Condition	3
2: Inspection Details	4
3: Entry & Hallways	6
4: Lounge Room	8
5: Dinning Room	10
6: Kitchen & Meal Area	11
7: Laundry	15
8: Bedroom 1	17
9: Bedroom 2	18
10: Bedroom 3	20
11: Toilet / WC	21
12: Bathroom 1	23
13: Garage	27
14: Roof	29
15: Exterior	33
16: Hot Water System & Water Tank	43
17: Timber Pest Findings	45
18: Conducive Conditions	46
19: Future Management	49
20: Additional Information	51
Standards of Practice	52

1: OVERALL CONDITION

Information

Overall Property Condition

The **Overall condition** of this structure has been compared to that of other buildings with similar age and construction. The ongoing maintenance of the building to ensure its continued serviceability has been taken into account when evaluating the structure and its components.

It should be noted that the **Major** and **Minor** defects outlined in this report reflect the opinion of the inspector. It is possible that other inspectors or individuals may have different views regarding what constitutes a major or minor defect.

The report below offers an evaluation of both **Major** and **Minor** defects, as well as a general assessment of this building compared to similar structures.

Assessment of the Overall condition was considered

Average to Above Average

The **Overall condition** of this property is evaluated by considering the age of the structure, the type of building, and the general expectations for similar properties built around the same time.

Frequency and Severity of Major Defects was considered

Low

Assessment of **Major defects** compared to similar buildings built around the same period.

Frequency and Severity of Minor Defects was considered

Standard/Moderate

Assessment of **Minor defects** compared to similar buildings built around the same period.

Termites or Termite damage/workings were

NOT FOUND

If Termites or Termite damage/workings were **FOUND** during the inspection, ALL termite recommendations **MUST** be followed to safeguard the property. These recommendations include, but are not limited to: Engaging a qualified pest technician to implement a comprehensive termite management plan in line with the Australian Standard. Removal of the Conducive Conditions that attract termites and repair any damage caused by termite activity to maintain the integrity of the building.

If Termites or Termite damage/workings were **NOT FOUND** during the inspection, this does not guarantee the property is free of termites. Termites can be present in inaccessible areas or may become active after the inspection. We **STRONGLY RECOMMEND** following all termite recommendations and conducting regular inspections of the property every 6-12 months. Implementing ongoing preventive measures is essential to ensure the property remains protected against termite infestations.

2: INSPECTION DETAILS

Information

Type of Building	Roofing Material	Weather Conditions
Villa	Tile	Clear
Direction Property Faces	In Attendance	Equipment Used
North	Listing Agent	Moisture Meter, Sounding device, Thermal Imaging (Thermography)

Construction Type

Brick Veneer

If the property is suspected of containing fibrous cement and was constructed before 2003, it is advisable to conduct an asbestos test. Asbestos typically does not pose a problem unless it has been disrupted. Asbestos testing can be carried out for approximately \$300 per sample.

Type of Roof

Hip & Valley

In the absence of rainfall, it is impossible to guarantee that the roof will not leak. This means that the roof's condition may not be fully revealed during dry periods, highlighting the need for thorough assessment under various conditions.

Occupancy

Furnished

If the property is furnished, we cannot guarantee that additional defects will not be discovered in the future once possessions and furniture have been removed.

Area/s Inspected

Building Interior, Building Exterior, Garage, Roof Exterior, Roof Void, Garden, Fence, Site

Areas that have been inspected. Please be aware the inspection may have been limited in some or all of these areas.

Area/s Where Inspections was Limited

Building Interior, Garage, Garden, Fence, Site, Roof Void, Roof Exterior, Building Exterior

Due to restrictions on the inspection, The inspector was limited in their ability to fully inspect the listed area/s of the property. Unfortunately, the inspector is unable to inspect areas covered by furniture, through belongings, or within closed-off spaces.

It's important to note - that the inspection was limited and as per Australian Standard 4349.1 we recommend further, more comprehensive inspections when restrictions are lifted.

Area/s NOT INSPECTED

Adjoining Property/s, Strata/Common Area

Areas that were **NOT INSPECTED** cannot and have not been reported on as no inspection was made to these areas.

Areas that have not been inspected include but are not limited to -

Areas covered by insulation, Areas hidden by furniture, Cavity walls, Common property, Concealed damp proofing, Concealed frame timbers, Debris, Eaves, Enclosed building elements, Fireplace hearths, Flat roof voids, Floor coverings, Fully/Partially enclosed patios sub-floors, Hollow blocks/post, Landscaping, Pictures, Roof covering, Soil concealed by concrete, Stored items, Subterranean ground conditions, wall linings.

This inspection/report does not include any areas that were obstructed/ not readily accessible at the time of inspection including any locked areas.

Please take into consideration - that if the property is furnished at the time of the inspection, the furniture and stored items may hide signs of defects or timber pest activity. These signs may not become apparent until the property is vacant. A further inspection of the vacant property is strongly recommended in this case.

If a thorough inspection of all areas in the dwelling is not feasible, there is a possibility that termite activity and/or defects may be present in these areas. This report does not imply that any inaccessible or partially inaccessible areas or sections of the property inspected on the date of the inspection were free from or have not been affected by defects or timber pests.

This inspection does not cover - moving or removing belongings/furnishings that may be hiding evidence of defects. It is strongly recommended that all obstructions be removed, and full access be provided as defects may exist in these areas. As per Australian Standard 4349.1 we recommend further, more comprehensive inspections when restrictions are lifted.

Inspection Method

Visual

THIS IS A VISUAL INSPECTION ONLY in accordance with the Australian Standard. The inspection did not include breaking apart, dismantling, removing, or moving objects, including but not limited to furniture, appliances, foliage, stored goods or built-in fixtures. As a result, areas obscured by such objects or structures were not accessible for inspection, which may limit the thoroughness of the evaluation. For a comprehensive assessment, it may be necessary to move or remove obstructing items or conduct additional inspections to fully address potential issues in those areas.

Photos & Findings

This inspection covered all accessible elements as outlined by the Australian Standard; however, the report highlights only a representative sample of each identified defect rather than every occurrence of that defect. Although photos are provided to illustrate these issues, please note that the problems may extend beyond the areas shown in the images.

Thermal Imaging Results

No Thermal Anomalies

Thermal imaging was conducted on the property to identify potential issues not visible to the naked eye. This advanced technique detects temperature variations within the building materials, helping to reveal hidden problems such as moisture intrusion, insulation deficiencies, and termite activity. It's important to note that the accuracy of thermal readings can be influenced by several factors, such as obstructions, ambient temperature, and wall thickness, these factors can hinder accurate thermal assessments. Thermal imaging falls outside the scope of the Australian Standards and has been used as an indication tool only. All observations and findings reflect the conditions at the time of the inspection.



3: ENTRY & HALLWAYS

		Fine	Repair	Major	UN	N/A
3.1	Doors	X				
3.2	Windows	X				
3.3	Floor	X				
3.4	Walls	X				
3.5	Ceiling	X				
3.6	Smoke Alarms	X				
3.7	Storage, Cupboards & Wardrobes		X			
3.8	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Walls: Standard Wear & Tear

Normal wear and tear to wall linings is anticipated in any standard home. This encompasses minor scuffs, dirt build-up, and marks that naturally develop over time due to daily use. It is recommended to consistently inspect and maintain the wall linings throughout the property to uphold their overall condition and appearance. Standard wear and tear is not considered a defect and generally will not be reported on.

Smoke Alarms: Smoke Alarm Requirements

NSW legislation - stipulates that smoke alarms must be installed on every level of a residential building. This includes owner-occupied homes, rental properties, relocatable homes, caravans and camper-vans or any other residential building where people sleep. Any smoke alarms installed after 1 May 2006 must comply with AS3786.

Please note - the requirements of this inspection are only to note the presence or absence of smoke alarms NOT if they are functional or up to Australian Standards. Please refer to the condition table to see if smoke alarms are installed in this property, if smoke alarms are not observed this will be classified as a defect.

Limitations

Storage, Cupboards & Wardrobes

WAS AN ADEQUATE INSPECTION TO THESE AREA POSSIBLE?

NO

If these areas contained stored items of any kind, they may hide defects or timber pest activity. Signs of these defects may not become apparent until the property is vacant. A further inspection of the vacant property is strongly recommended in this case.

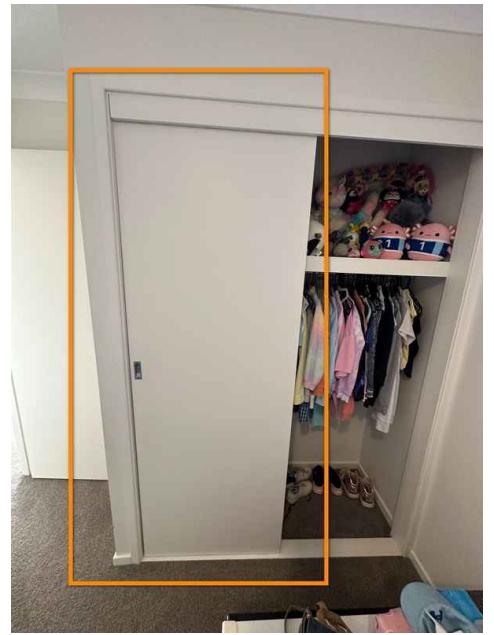
Observations

3.7.1 Storage, Cupboards & Wardrobes

 Minor Defect - Repair Needed

CUPBOARD DOOR

The cupboard requires general maintenance and possibly new rollers to function as indented.



4: LOUNGE ROOM

		Fine	Repair	Major	UN	N/A
4.1	Doors	X				
4.2	Windows	X				
4.3	Floor		X			
4.4	Walls	X				
4.5	Ceiling	X				
4.6	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Observations

4.3.1 Floor



Minor Defect - Repair Needed

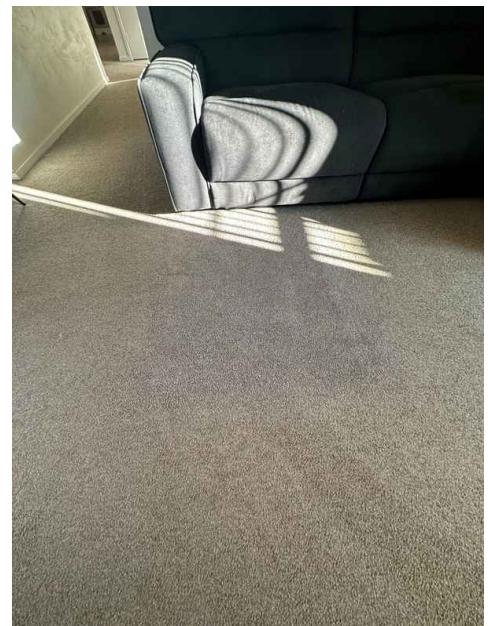
CARPET STAINS

The carpet had areas of staining or discolouration. Recommend a thorough steam cleaning by a qualified carpet cleaning company. If the stain/s remains new carpet may be required.

Professional cleaning services and timely spot treatments may help prolong the life of the carpet and keep it looking its best.

Recommendation

Contact a qualified cleaning service.



5: DINNING ROOM

		Fine	Repair	Major	UN	N/A
5.1	Doors	X				
5.2	Windows	X				
5.3	Floor	X				
5.4	Walls	X				
5.5	Ceiling	X				
5.6	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



6: KITCHEN & MEAL AREA

		Fine	Repair	Major	UN	N/A
6.1	Doors	X				
6.2	Windows	X				
6.3	Floor		X			
6.4	Walls	X				
6.5	Ceiling	X				
6.6	Cabinetry and Benchtops		X			
6.7	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Cabinetry and Benchtops: Appliances

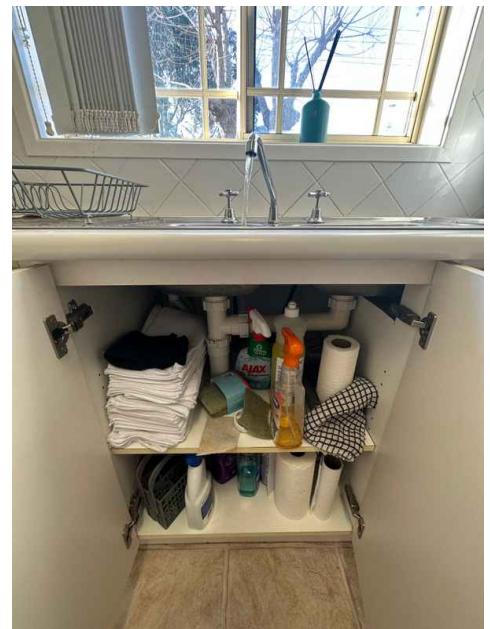
It is outside the scope of this inspection to test or comment on the condition of any appliances within the property. It is strongly recommended that a qualified professional be contacted if you have concerns or questions regarding any appliance.

Limitations

Cabinetry and Benchtops

STORED GOODS

The kitchen cupboards are filled with a variety of possessions and belongings, which hinders a comprehensive inspection of these spaces. The presence of these items makes it impossible to thoroughly examine all aspects of this area.



Observations

6.3.1 Floor

- Minor Defect - Repair Needed

LINO DETERIORATION

Lino Flooring has started to lift. Over time, linoleum flooring can deteriorate due to wear and tear, exposure to moisture, and heavy foot traffic. Signs of linoleum deterioration may include discolouration, peeling, and a spongy or uneven feel in certain areas. It's important to address linoleum deterioration promptly to prevent further damage and maintain the overall integrity of the flooring surface. Consulting a professional for assessment and repair.

Recommendation

Contact a qualified flooring contractor



6.6.1 Cabinetry and Benchtops

ADJUSTMENT TO CABINET

Maintenance/Monitor Item

Adjustment to cabinet doors is required for cabinet doors to sit flush. This may also require the replacement of hinges.

Recommendation

Contact a handyman or DIY project



6.6.2 Cabinetry and Benchtops

LEAKING PIPE

Minor Defect - Repair Needed

A leaking Pipe was observed under the sink. It is important that this be repaired by a plumber asap to prevent any damage to surrounding materials.

Recommendation

Contact a qualified plumbing contractor.



6.6.3 Cabinetry and Benchtops

 Minor Defect - Repair Needed**DAMAGE COOK TOP**

Damaged Cook top observed. When a cooktop cracks, it compromises the surface's integrity and may pose safety risks, such as sharp edges or potential electrical hazards if it's an induction or electric model. Immediate attention is necessary to prevent further damage and ensure safe cooking conditions. Replacing the cracked cooktop is essential.



7: LAUNDRY

		Fine	Repair	Major	UN	N/A
7.1	Doors	X				
7.2	Windows	X				
7.3	Floor	X				
7.4	Walls	X				
7.5	Ceiling	X				
7.6	Exhaust Fan					X
7.7	Cupboards, Sink and Taps		X			
7.8	Toilet					X
7.9	Shower					X
7.10	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Shower: The moisture reading taken from an adjoining wall to the shower recess was

N/A

The moisture readings obtained from the wall are provided as indicators only and may not accurately reflect the full extent or nature of moisture presence. These readings are subject to environmental conditions, such as temperature and humidity variations, as well as the specific materials and construction methods used.

Further investigation should be conducted if the reading falls outside the normal range to verify the actual moisture levels and assess any potential issues within the wall.

Limitations

Photo

APPLIANCES

It is outside the scope of this inspection to test or comment on the condition of any appliances within the property. It is strongly recommended that a qualified professional be contacted if you have concerns or questions regarding any appliance.

It should be noted that appliances in the laundry area (such as a washing machine or dryer) restricted access to certain components, limiting our ability to thoroughly inspect those areas. Our inspection is limited by such obstructions, and we recommend ensuring unrestricted access to all areas for future inspections. This will allow for a more comprehensive assessment and identification of any potential issues that may require attention.

Photo

STORED GOODS

The Laundry cupboards are filled with a variety of possessions and belongings, which hinders a comprehensive inspection of these spaces. The presence of these items makes it impossible to thoroughly examine all aspects of this area.

Observations

7.6.1 Exhaust Fan

NO EXHAUST FAN

An exhaust fan is recommended to remove excess moisture, unpleasant odours, and airborne contaminants. It helps prevent mould and mildew growth, promotes better air circulation, and improves overall indoor air quality. Advise one be installed sooner rather than later.

Recommendation

Contact a qualified professional.



Maintenance/Monitor Item

7.7.1 Cupboards, Sink and Taps

TAP NOT CONNECTED

Cold water tap in the sink is not connected.

Recommendation

Contact a qualified plumbing contractor.



Minor Defect - Repair Needed

8: BEDROOM 1

		Fine	Repair	Major	UN	N/A
8.1	Doors	X				
8.2	Windows	X				
8.3	Floor	X				
8.4	Walls	X				
8.5	Ceiling	X				
8.6	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



9: BEDROOM 2

		Fine	Repair	Major	UN	N/A
9.1	Doors	X				
9.2	Windows	X				
9.3	Floor		X			
9.4	Walls	X				
9.5	Ceiling	X				
9.6	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Observations

9.3.1 Floor



Minor Defect - Repair Needed

CARPET STAINS

The carpet had areas of staining or discolouration. Recommend a thorough steam cleaning by a qualified carpet cleaning company. If the stain/s remains new carpet may be required.

Professional cleaning services and timely spot treatments may help prolong the life of the carpet and keep it looking its best.

Recommendation

Contact a qualified cleaning service.



10: BEDROOM 3

		Fine	Repair	Major	UN	N/A
10.1	Doors	X				
10.2	Windows	X				
10.3	Floor	X				
10.4	Walls	X				
10.5	Ceiling	X				
10.6	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



11: TOILET / WC

		Fine	Repair	Major	UN	N/A
11.1	Doors	X				
11.2	Windows	X				
11.3	Floor	X				
11.4	Walls		X			
11.5	Ceiling	X				
11.6	Exhaust Fan					
11.7	Toilet		X			
11.8	Sink Basin & Vanity					X
11.9	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Observations

11.4.1 Walls



Minor Defect - Repair Needed

IMPACT DAMAGE

Impact damage has been observed, advise that a plaster contractor be engaged for repairs.

The door handle has damaged the wall. I advise a door stop be added after the wall is patched and painted.

Recommendation

Contact a qualified gyprock contractor



11.6.1 Exhaust Fan



Maintenance/Monitor Item

NO EXHAUST FAN

An exhaust fan is needed in a bathroom to remove excess moisture, unpleasant odours, and airborne contaminants. It helps prevent mould and mildew growth, promotes better air circulation, and improves overall indoor air quality. Advise one be installed sooner rather than later.

Recommendation

Contact a qualified professional.

11.7.1 Toilet



Minor Defect - Repair Needed

DAMAGE

Toilet appears to be damaged and requires repairs. Contact a plumber for assessment.

Recommendation

Contact a qualified plumbing contractor.



12: BATHROOM 1

		Fine	Repair	Major	UN	N/A
12.1	Doors		X			
12.2	Windows	X				
12.3	Floor		X			
12.4	Walls	X				
12.5	Ceiling	X				
12.6	Exhaust Fan	X				
12.7	Toilet					X
12.8	Shower & Bath			X		
12.9	Sink Basin & Vanity	X				
12.10	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

General view

General view of the area at the time of inspection.



Shower & Bath: The moisture reading taken from an adjoining wall to the shower recess was WITHIN NORMAL RANGE at the time of inspection

The moisture readings obtained from the wall are provided as indicators only and may not accurately reflect the full extent or nature of moisture presence. These readings are subject to environmental conditions, such as temperature and humidity variations, as well as the specific materials and construction methods used.

Further investigation should be conducted if the reading falls outside the normal range to verify the actual moisture levels and assess any potential issues within the wall.



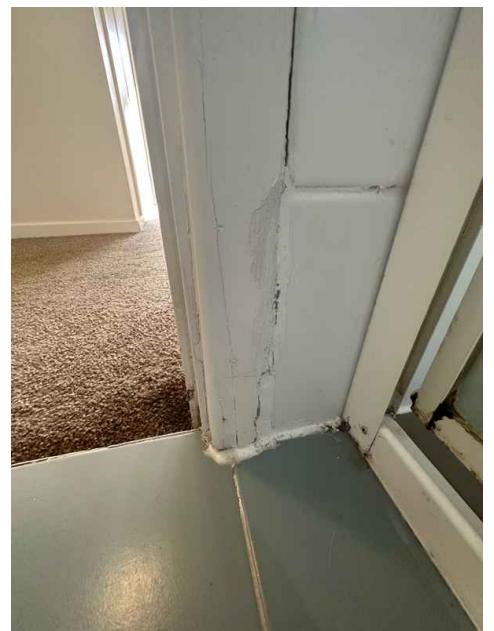
Observations

12.1.1 Doors

WATER DAMAGE

Water damage to the base of a timber door frame in the bathroom typically results from persistent moisture exposure, often due to poor ventilation, leaks, or splashing. This damage can cause the timber to swell, warp, or deteriorate, which can compromise the door frame's integrity and appearance. The problem appears to have been fairly poorly repaired and should be monitored during heavy use.

- Minor Defect - Repair Needed



12.3.1 Floor

CRACKED TILE/S

Cracked or chipped floor tiles have been observed. I advise a tiler to be contacted for repairs.

Recommendation

Contact a qualified tile contractor

 Minor Defect - Repair Needed



12.3.2 Floor

GROUT DETERIORATION

 Minor Defect - Repair Needed

Tile grout has deteriorated and should be repaired by a qualified tiler.

Recommendation

Contact a qualified tile contractor



12.8.1 Shower & Bath

CRACKED TILE/S

Cracked/deteriorated tiles were observed during the inspection. It is recommended to consult with a plumber to assess and rectify. Replacement of the affected tiles is advised to restore the integrity and aesthetics of the area.

Recommendation

Contact a qualified tile contractor

 Minor Defect - Repair Needed



12.8.2 Shower & Bath

GROUT DETERIORATION

 Minor Defect - Repair Needed

Tile grout deterioration is evident in the shower recesses. This is a common issue caused by prolonged exposure to moisture and cleaning agents, leading to cracks, discolouration, and possibly even mould growth. Rectification typically involves thorough cleaning to remove existing grout, followed by reapplication of new grout. It's crucial to choose a grout that is suitable for wet areas and to ensure proper sealing to prevent future deterioration. Regular maintenance and sealing can extend the lifespan of grout and preserve the integrity of shower recesses.

Recommendation

Contact a qualified plumbing contractor.



13: GARAGE

		Fine	Repair	Major	UN	N/A
13.1	Doors	X				
13.2	Windows	X				
13.3	Floor	X				
13.4	Walls	X				
13.5	Ceiling	X				
13.6	Garage Door	X				
13.7	External Wall	X				
13.8	Roof & Gutter	X				
13.9	Lighting Fixtures, Switches & Receptacles	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

Garage Door: Type of Garage Door

Manual

General view

General view of the area at the time of inspection.



Limitations

Photo

STORED BELONGINGS

Please be aware that internal storage was present within the garage. The presence of stored goods obstructed access to various areas and surfaces, potentially concealing defects or issues such as structural damage, leaks, or deterioration. As a result, some areas could not be thoroughly examined. It is advised to clear the stored items and conduct a follow-up inspection to ensure a complete and accurate assessment of the garage's condition.

14: ROOF

		Fine	Repair	Major	UN	N/A
14.1	Coverings		X			
14.2	Flashings	X				
14.3	Drainage Systems		X			
14.4	Roof Void	X				
14.5	Insulation & Sarking				X	

Fine = Visually Fine

Repair = Repair Needed

Major = Major Defect/Safety Concern

UN = Unable to Inspect

N/A = Not Applicable

Information

Coverings: Material

Tile

Roof Void: Type of Construction

Truss

Coverings: General view

General view of the area at the time of inspection.





Roof Void: General view

General view of the area at the time of inspection.



Insulation & Sarking: Type of Insulation

None

Roof insulation acts as a thermal barrier, reducing the transfer of heat between the indoor and outdoor environments. During the hot summer months, insulation prevents heat from entering your building, reducing the need for air conditioning. In the winter, it keeps warmth inside, minimizing heating requirements. Roof Insulation should cover the entire ceiling area between the timber joists.

Insulation & Sarking: Was Sarking Installed?

No

Roof sarking is an important layer installed beneath the roof covering in pitched roofs. It helps prevent water from leaking into the roof structure, adding an extra level of waterproofing. Additionally, it improves thermal performance by enhancing insulation and reducing heat loss, which boosts the building's energy efficiency.

Sarking also manages moisture and condensation, reducing the risk of mould and damage. It provides extra support to the roof covering and protects the timber from weather-related issues like rain and wind. Overall, sarking contributes to a more durable and efficient roofing system.

Limitations

Roof Void

LOW CLEARANCE

The roof void has low clearance in some areas, limiting access and making it difficult to thoroughly inspect. As a result, some potential issues may not be identified. This space can be inspected on request through a special-purpose inspection to ensure a more comprehensive evaluation. This process would likely involve moving multiple tiles and use of a borescope.

Roof Void

TIMBER FRAMEWORK/TRUSSES

The inspection of the roof cavity was limited by obstructive truss webbing and timber framework, combined with a restricted crawl space. These limitations hindered complete access and visibility, preventing a thorough evaluation of all areas within the roof space. Consequently, potential issues such as structural defects, pest infestations, or insulation deficiencies may not have been identified.

Observations

14.3.1 Drainage Systems

DEBRIS

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.

Recommendation

Contact a qualified roofing professional.

 Minor Defect - Repair Needed



14.3.2 Drainage Systems

GUTTER LEAKAGE

 Minor Defect - Repair Needed

Gutters were observed to be leaking in one or more areas. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor evaluate and repair gutters to proper functionality.

Recommendation

Contact a qualified roofing professional.



15: EXTERIOR

		Fine	Repair	Major	UN	N/A
15.1	Externals	X				
15.2	Eaves, Soffits & Fascia		X			
15.3	Entries & Exterior Doors		X			
15.4	External Windows	X				
15.5	Fences/Gates		X			
15.6	Gardens & Drainage					
15.7	Verandah & Patio		X			
15.8	Walkways & Driveways	X				

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

Externals: External Building Material

Brick

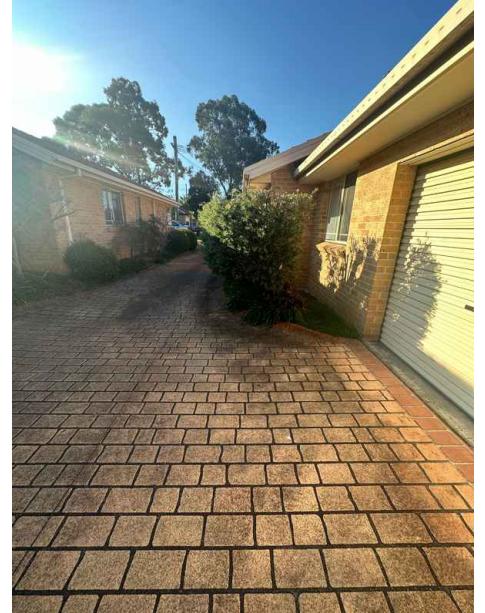
Entries & Exterior Doors: General view of Entry

General view of the area at the time of inspection.



Walkways & Driveways: General view of driveway

General view of the area at the time of inspection.



Walkways & Driveways: Driveway Material

Concrete

Externals: General view

General view of the area at the time of inspection.



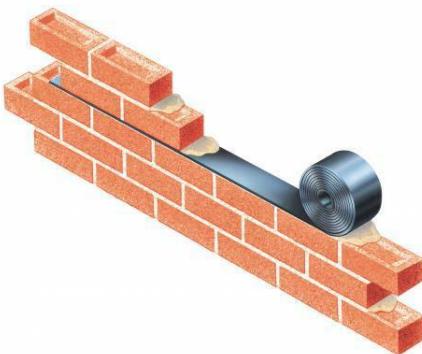


Externals: Was Damp-proof course installed?

Yes

A damp proof course (DPC) is an important component installed in a building's walls to prevent moisture from rising up from the ground. Typically made from materials like plastic or metal, the DPC is installed 75mm to 150mm above the finished ground level to help avoid moisture-related issues.

In Australia, the requirement for a DPC is outlined in the National Construction Code (NCC) and the Australian Standard AS 2870-2011, "Residential Slabs and Footings." If a damp proof course (DPC) is not visibly evident during an inspection, it may still be present within the building's structure. In some cases, the DPC could be obscured by finishes or concealed behind wall cladding and other materials. Its presence and effectiveness should be confirmed through further investigation, such as reviewing building plans.



Externals: Important Information - Cracks

Please be aware that if any cracking is observed internally or externally in the floors, walls, ceilings, or external elements, we cannot guarantee that these issues will not worsen or expand over time, as such changes are unpredictable. We strongly recommend consulting a structural engineer for a more detailed evaluation and advice. This assessment is based on visible damage and may not identify all potential underlying problems.

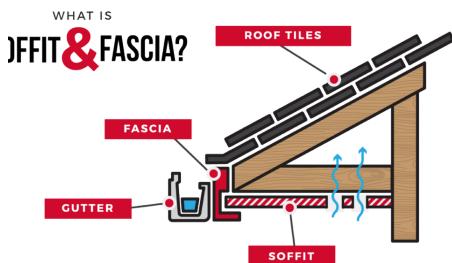
Please note that our inspection categorized cracks as follows:

- Hairline Cracks (≤ 0.1 mm): Category 0 – No significant damage.
- Fine Cracks (≤ 1.0 mm): Category 1 – Typically not needing repair.
- Noticeable Cracks (≤ 5.0 mm): Category 2 – May require minor repairs; potential for doors and windows to stick.

- Significant Cracks (>5.0 mm, ≤ 15.0 mm): Category 3 – Likely requires extensive repairs; possible issues with doorframes and structural elements.
- Severe Cracks (>15.0 mm): Category 4 – Major repairs needed; significant structural concerns.

Eaves, Soffits & Fascia: Understanding Eave Components

Here is a quick diagram that breaks down common eave components. This is a guide only.



External Windows: Safety Glass

Older houses built before 1980 may have glazing that doesn't meet today's safety standards, such as AS 1288:2021. To enhance safety, consider replacing glass panes in doors and windows, especially in high-traffic areas, with safety glass or applying shatterproof film. This will ensure your glass complies with modern safety requirements. If the existing glass already meets these standards, no additional action is needed. Regular updates and inspections can help keep your property safe and up to date.

Observations

15.2.1 Eaves, Soffits & Fascia

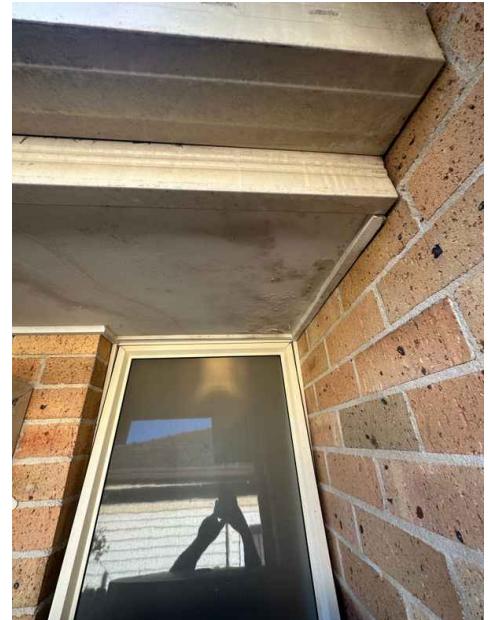
BUBBLING

Bubbling on the eaves suggests trapped moisture, possibly from overflowing gutters or bad paint application. To fix this, check and repair any sources of moisture, clean off the bubbled paint, and repaint with moisture-resistant paint. Regular maintenance and ensuring good ventilation will help prevent this issue from recurring.

Recommendation

Contact a qualified roofing professional.

 Minor Defect - Repair Needed



15.2.2 Eaves, Soffits & Fascia



Minor Defect - Repair Needed

FASCIA - DAMAGED

One or more sections of the fascia are damaged. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



15.2.3 Eaves, Soffits & Fascia



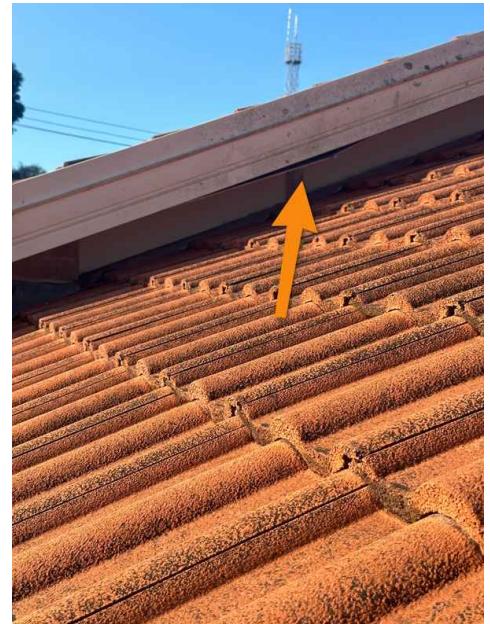
Minor Defect - Repair Needed

FASCIA - LOOSE

One or more sections of the fascia are loose and should be reattached. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



15.2.4 Eaves, Soffits & Fascia

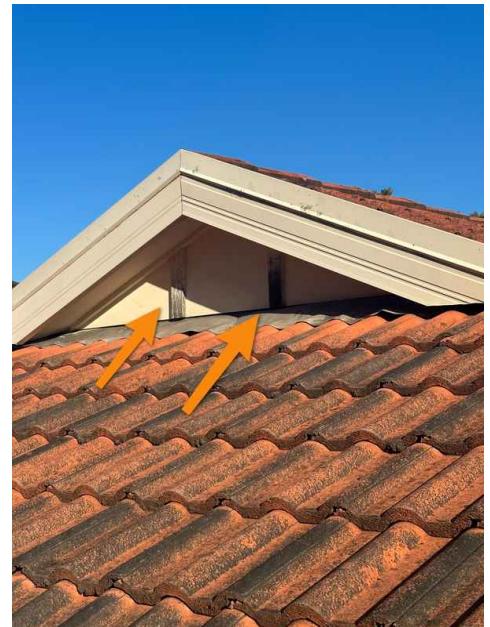
PAINT/FINISH FAILING

Minor Defect - Repair Needed

The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.

Recommendation

Contact a qualified painting contractor.

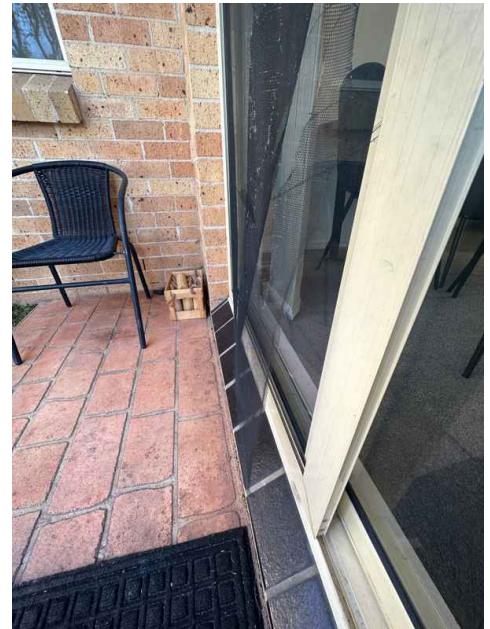


15.3.1 Entries & Exterior Doors

DAMAGED FLY SCREEN

Minor Defect - Repair Needed

The fly screen on the external door is damaged. It should be repaired or replaced to keep insects out and ensure the door works properly.



15.5.1 Fences/Gates

**MINOR DAMAGE**

A section of the brick fence and the timber gate are slightly damaged. Repair is advised.

Recommendation

Contact a qualified fencing contractor



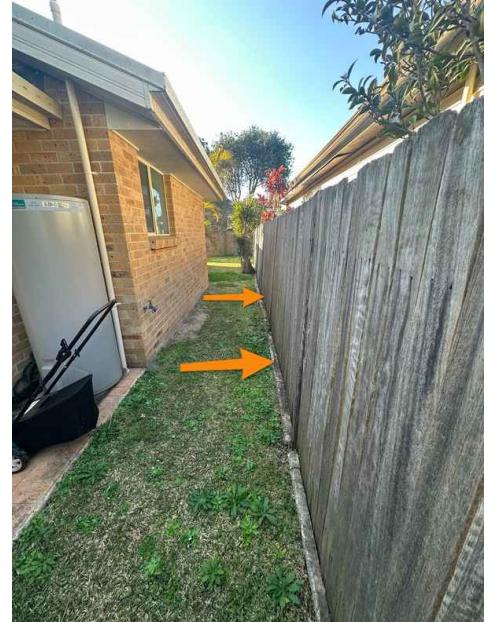
15.5.2 Fences/Gates

**FENCE LEAN**

The fence has started to lean and needs repairs to prevent additional movement.

Recommendation

Contact a qualified fencing contractor



15.5.3 Fences/Gates

WOOD ROT

Wood rot in the fence has been observed. This deterioration requires attention and repair to prevent further deterioration. Timber in contact or close to soil is a conducive condition for termites especially if that timber has decayed.

Recommendation

Contact a qualified fencing contractor

 Minor Defect - Repair Needed



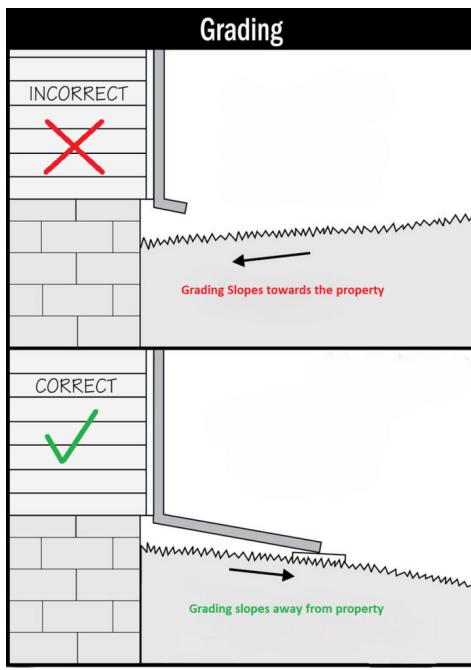
15.6.1 Gardens & Drainage

NEGATIVE GRADING

Certain areas around the home exhibit a slope towards the structure, which could result in water intrusion and potential foundation issues. To address this, it is advisable to hire a qualified landscaper or foundation contractor to regrade the area and install adequate drainage, ensuring that water is directed away from the home. Proper grading is crucial for preventing water damage and maintaining the integrity of the foundation.

Recommendation

Contact a qualified landscaping contractor



15.7.1 Verandah & Patio

DAMAGED TILE/S

Damaged tiles, such as those with cracks, chips, or missing pieces, can affect the appearance and functionality of a surface. These issues may have resulted from impact, wear and tear, or poor installation. It is important to replace or repair damaged tiles to prevent further deterioration and maintain the overall aesthetic of this area.

Recommendation

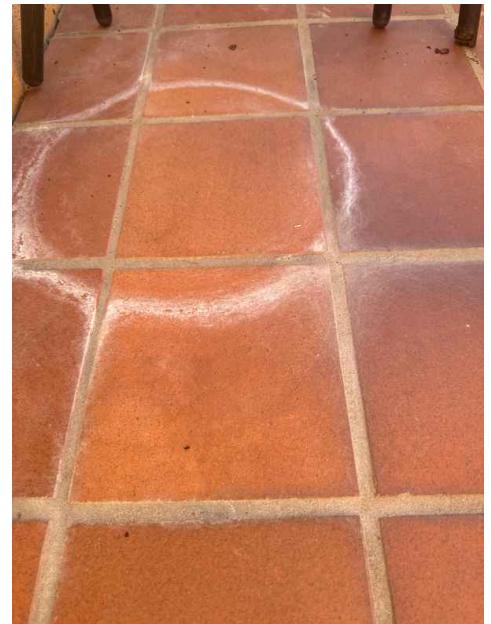
Contact a qualified tile contractor

Minor Defect - Repair Needed

15.7.2 Verandah & Patio

**STAIN**

Stain was observed on the tile. Cleaning advised



16: HOT WATER SYSTEM & WATER TANK

		Fine	Repair	Major	UN	N/A
16.1	Hot Water Unit		X			
16.2	Water Tank					X

Fine = Visually Fine Repair = Repair Needed Major = Major Defect/Safety Concern UN = Unable to Inspect N/A = Not Applicable

Information

Hot Water Unit: General view

General view of the area at the time of inspection.



Hot Water Unit: System Capacity

315L

Hot Water Unit: System Location

Outside

Hot Water Unit: System Make

Vulcan

Hot Water Unit: System Type

Electrical Storage

Hot Water Unit: Year of Manufacture

2015

Observations

16.1.1 Hot Water Unit



Minor Defect - Repair Needed

DIVERT

The hot water system's overflow should be diverted into a stormwater drain. If this isn't possible, ensure that the water is directed away from the external foundation by at least 1 meter, preferably into a garden bed. This helps to avoid water accumulation near the foundation, reducing the risk of creating a moist environment that can attract termites and cause structural damage.

Recommendation

Contact a qualified professional.



17: TIMBER PEST FINDINGS

Information

Was any visible evidence of Borer If damage was found does it located? require rectification?

No No

Were any LIVE Termite located?

No

If LIVE termites are found, **DO NOT DISTURB** them in any way, including spraying them with oils or chemicals. Avoid any interference and contact a professional Pest Management Technician to handle the situation effectively.

Were any termite WORKINGS located?

No

If termite workings are found on the grounds, the risk to nearby buildings is extremely high, and a treatment to protect the structures should be conducted as a matter of urgency. If evidence of termite activity is present, the likelihood of further infestations is high. Additionally, if dormant or inactive termite signs are observed during an inspection, there is a significant chance that existing termite damage may be hidden.

Was any termite DAMAGE located?

No

If termite damage is found and there are no live termites visible at the time of inspection, the damage should be repaired, and a termite management plan that complies with Australian standards should be implemented, unless one is already in place and correctly maintained.

Termite damage/working were located in

None found

Given the elusive nature of termites, if any damage or workings are detected, there is a strong possibility that additional damage or workings may be present in concealed locations that were not visible during the inspection. Unless a termite management plan that complies with Australian standards has been properly installed and maintained, treatment to protect the structure should be carried out promptly.

Was this damage considered to be a Major defect?

No

If a **Major Defect/Safety Hazard** is identified, address it immediately to prevent injury or death.

Critical Information

Critical Information:

If live termites or signs of termite activity or damage are found in the building(s), ground, or fences, assume there may be concealed termite activity or timber damage. Such issues may only become apparent during alterations (e.g., removing wall linings) or through an invasive inspection. Consult a qualified professional (builder, engineer, architect, etc.) to assess the extent of the damage. We do not accept responsibility for any repairs.

If termite activity or damage is visible but no live termites were found, they may still be active and causing damage. Regular annual inspections are essential. Without proof of a termite protection program meeting "Australian Standard 3660," arrange treatment as per the standard immediately.

18: CONDUCIVE CONDITIONS

Information

Conducive Conditions - Requiring Remedial Action

Slab edge not exposed, Mulch, Garden Beds, Trees, Stumps, Timber in contact with soil, Fungal decay, Timber fence

Addressing and removing conditions conducive to termite infestations is crucial for the protection of property and prevention of significant damage. Termites thrive in environments that offer moisture, wood-to-soil contact, and other conducive conditions. By eliminating these factors, you significantly reduce the risk of termite infestations and their potential to cause structural harm.

Key measures to mitigate conducive conditions include:

- 1 - Fixing leaks and ensuring proper drainage around the property helps prevent moisture accumulation, which attracts termites.
- 2 - Adequate ventilation in crawl spaces and basements prevents excess humidity and reduces the likelihood of termite activity.
- 3 - Removing Wood-to-Soil Contact. Keeping wooden elements elevated and away from direct soil contact reduces potential access points for termites.

Prioritizing the removal of conducive conditions (listed or otherwise) is essential for maintaining a termite-free environment and safeguarding the integrity of your property. By addressing these factors promptly, you can effectively reduce the risk of infestations and minimize potential damage.

Active water leaks

Downpipe joins

Repairing active water leaks promptly is crucial as they create moist conditions that are highly conducive to termite infestations. Termites thrive in damp environments. To mitigate this risk, locate and fix any leaks in plumbing, roofs, or foundations immediately. Regular inspections and maintenance of water sources, including gutters and downspouts, can prevent leaks from developing. Addressing these issues not only helps in termite prevention but also protects your property from water damage and mould growth.

Was the Air Conditioner adequately drained?

N/A

To prevent moisture buildup that can attract termites and/or moisture intrusion into the building the AC overflow should be directed into a stormwater drain. If this isn't feasible, ensure the discharge is directed at least 1 meter away from the foundation, preferably into a garden bed.

Was the Hot Water System adequately drained?

No

The hot water system's overflow should be diverted into a stormwater drain. If this isn't possible, ensure that the water is directed away from the external foundation by at least 1 meter, preferably into a garden bed. This helps to avoid water accumulation near the foundation, reducing the risk of creating a moist environment that can attract termites and cause structural damage.

Was the Storm Water tank overflow connected to storm water drain?

N/A

If the property has a stormwater tank, connecting the overflow to a stormwater drain is essential for efficient water management and property protection. This prevents waterlogging and foundation damage by directing excess rainwater away from your home. Proper drainage also protects gardens from over-saturation and minimizes standing water, promoting a healthier living environment.

Subfloor Ventilation was considered

N/A

Poor/Inadequate subfloor ventilation can lead to elevated moisture levels, which fosters conditions ideal for termite infestations and mould growth. Poor ventilation restricts airflow beneath the property, allowing moisture to accumulate and potentially compromise the integrity of building elements. To mitigate these issues, it is recommended to install a ducted extraction fan. This system enhances ventilation by efficiently removing excess moisture and improving air circulation within the subfloor area.

Were there any Excessive Moisture Readings?

No

If High moisture levels are detected during the inspection they should be investigated further. High moisture areas are conducive conditions for termites. Maintaining low moisture levels is essential to prevent termite damage and water-related issues.

Inspection Zones

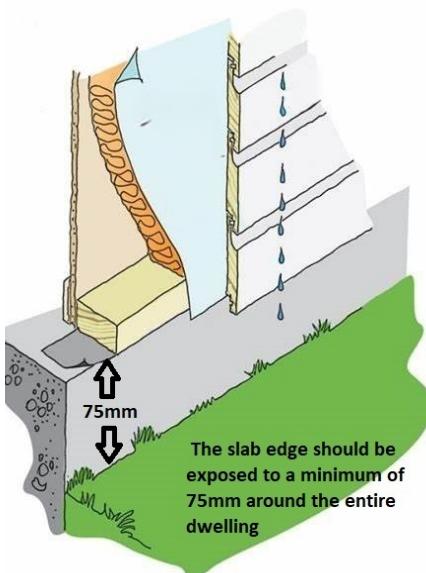
Inspection Zones - An inspection zone is a critical area around a home that must remain visible to detect termites attempting to gain access. Building codes require ALL homes to have an inspection zone to help identify termite activity. While inspection zones do not prevent termites from accessing a home, they can enable early detection if they do.

Homes on Piers: For homes on piers, the subfloor inspection zone is much larger than slab on ground homes. Subfloor access must be at least 400mm by 500mm unobstructed, with a crawl space of 400mm by 500mm to ensure thorough inspection of all piers, ant caps, and foundation walls.

Exposed Slab Edge Homes: The concrete slab must be visible and unobstructed around the property by at least 75mm.

Infill Slab Homes: For homes with infill concrete slabs, the inspection zone extends from the weep hole to the ground and must be at least 75mm. Infill slab construction is particularly vulnerable to concealed termite entry due to its design, which obscures the slab edge. The slab type can be identified by reviewing construction plans with a qualified professional, such as an architect. These plans may be obtained from your local council. Here's a helpful link to find relevant construction information. NSW Planning Portal Spatial Viewer.

IMPORTANT: If the property has an infill slab and does not have a durable notice indicating a pre-construction barrier, you must investigate whether any termite protection was installed during construction. We strongly recommend regular termite inspections in accordance with AS 3660.2 or AS 4349.3-2010. If the slab edge cannot be identified, more frequent inspections are advised.



Is the slab edge fully exposed?

NO

Exposing the edge of slabs is crucial for effective termite inspection and maintenance. This process involves clearing any obstructions around the slab's edge to ensure that the inspection zone is visible and accessible.

Evidence of wood decay fungi (Rot)

Fence, External Trim

Evidence of wood decay was found in the aforementioned location. It is important to repair decayed wood timbers to maintain structural integrity, prevent pest infestations, preserve aesthetic appeal, and avoid health risks associated with mould and mildew. Prompt repairs also help prevent more extensive and costly damage in the future.

Does the timber decay present a major safety hazard?

No

Where evidence of wood decay is considered a major defect or safety hazard, repairs must be carried out as a matter of urgency. Prompt action is essential to ensure the safety and structural integrity of the area in question, prevent further damage, and avoid potential safety issues.

Were weep holes & vents clear?

Yes

Weep holes (and vents) are small openings incorporated into a wall or structure to allow trapped water to escape, preventing moisture buildup and potential damage. When covered or blocked, these weep holes can fail to perform their function, leading to issues like mould growth, termite infestation and water damage.

Conducive to termite activity - These holes are situated above pre-construction termite barriers. this means they can provide an entry point for termites directly into the structure. Once termites enter through these covered weep holes, they gain direct access to internal timbers, which can lead to significant damage if not addressed. It's essential to ensure that weep holes are clear at all times.

Weepa Weep Hole Protectors Recommendation

For optimal protection of brick homes, consider installing Weepa Weep Hole Protectors. These devices partially cover weep holes (while still allowing them to function as intended) to prevent pest intrusion and bushfire ember entry, with options tailored to specific needs. The stainless steel Protector Weep Hole Screen keeps out pests such as mice and spiders and offers bushfire protection, while the Termite Protector Weep Hole Screen, infused with bifenthrin, provides targeted termite deterrence for up to two years. Both products are designed for easy installation by homeowners and maintain the aesthetic of your home. For comprehensive protection, use them together, ensuring your weep holes are both functional and safeguarded against common threats.

19: FUTURE MANAGEMENT

Information

Was a Durable Notice Present?

Yes

A durable notice for termites is a long-lasting, weather-resistant sign or label used to provide important information about termite management or to alert individuals to the presence of termite treatments. These notices are typically used in properties that have undergone termite treatment or have a termite management plan in place. A durable notice is typically found in the Electrical Meter Box of a property.



Was there any previous termite treatment/prevention?

Yes

If drill holes or other signs of possible previous treatment (excluding pre-construction treatments) are noted, it likely indicates a past termite attack. Structural damage may be hidden in concealed areas. An invasive inspection is recommended, as damage may only be discovered when wall linings or similar materials are removed. Typically, a durable notice detailing the termite shield system, treated zone, or combination installed should be found in the meter box if a treatment has been carried out.

Type of previous barrier/treatment installed

Pre-construction (Physical Barrier)

The Inspector can not guarantee the quality of work performed by other companies. You should secure and review all relevant documentation regarding the treatment's quality, timing, and warranty. To reduce the risk of further infestation, it is generally recommended to arrange for a new treatment in accordance with Australian Standard 3660. Please be aware that all termite preventive treatments are subject to failure if not installed correctly. To ensure the effectiveness of the treatment, it is crucial that the installation and maintenance follow the recommended guidelines and standards.

Additional Termite management measures recommended

Annual Timber Pest Inspection, Removal of conducive conditions, Chemical Barrier Treatment, Inquire about previous termite treatment/s

It is strongly recommended that you adhere to both the inspector's recommendations and the guidelines set out in the Australian Standards regarding the frequency of termite inspections. Failure to follow these recommendations significantly increases the risk of experiencing a termite infestation.

Invasive Inspection Recommendation

An invasive inspection is recommended in the following situations

Signs of Previous Termite Treatment: If there are indications that a previous termite treatment was conducted (excluding pre-construction barriers), an invasive inspection is strongly advised.

Presence of Termite Damage: If termite damage/working is discovered, an invasive inspection is essential to identify hidden damage.

Inaccessible High-Risk Areas: For areas that are outside of the scope of this report or were inaccessible and considered high risk, such as confined subfloor sections or concealed spaces.

Following this recommendation helps to ensure comprehensive detection and effective management of termite problems.

20: ADDITIONAL INFORMATION

Information

On-the-Spot Inspection Report Guarantee

The Best Inspector Pty Ltd guarantees that all standard Building and Pest Inspection Reports, as well as Strata/Commercial Termite Reports, will be completed and emailed to the client within the booked inspection time slot, and no later than two hours after completing the inspection. The exceptions to this guarantee are:

1. An emergency event.
2. If the report has not been paid for.
3. If the client has requested a delay or wants to amend an item before the report is finalised.
4. If there is no reception required to upload the report, in which case the report will be uploaded as soon as practical.

This guarantee ensures timely delivery and client satisfaction with our prompt and professional service.



Important Information About Building Inspectors

- Please be advised that The Best Inspector Pty Ltd does not guarantee that any inspector will possess a particular type of license. Given the extensive range of specializations within the building and construction industry, it is unlikely to find an inspector with experience in every area of expertise. For specific concerns or requirements related to particular fields, we recommend consulting a licensed professional in the relevant area.
- In New South Wales, building inspectors are not required to be licensed builders or hold specific qualifications, and they are not legally obligated to have insurance. Inspectors often come from diverse trade backgrounds and may have only on-the-job training rather than formal education, leading to variations in their level of expertise.

STANDARDS OF PRACTICE

Overall Condition Building & Pest Inspection Agreement

Service Agreement

1. This inspection agreement is made between you (the Client) and The Best Inspector Pty Ltd. You have requested an inspection of your property for the purpose of preparing a Building & Pest Inspection Report ("Report"), which will outline the Inspector's findings and recommendations.
2. The purpose of the inspection is to provide you with an overview of the Inspector's findings at the time of the inspection, along with advice on the nature and extent of those findings.
3. This Report is prepared exclusively for you, the Client, as per the Pre-Inspection Agreement. The Report is not intended for reliance by any other party. Any third party using this Report does so at their own risk and agrees to release The Best Inspector Pty Ltd and its agent, The Inspector, from all liability.
4. If this Report has been commissioned by a third party, it is understood that the third party has communicated the terms and conditions, including the scope, limitations, disclaimers, exclusions, client acknowledgments, and dispute resolution process.
5. This Report is for your personal use only and may not be used or distributed by real estate agents or other third parties for marketing purposes. The information is tailored to your needs and should not be used for promotional purposes or as the sole document to determine if the property is suitable for purchase or sale.
6. This Report provides a general appraisal and should not be considered a comprehensive assessment. For a thorough evaluation, further inspections by specialists and qualified tradespeople are recommended. Their expertise will offer a detailed analysis and address specific issues not covered in this general appraisal.

Scope of the Report

7. This Report is limited to the Inspector's findings at the time of the inspection. Any conditions not within the scope defined herein or that occur after the inspection are expressly excluded. The Inspector will inspect the following areas (assuming there is safe and reasonable access).

The exterior of the building
The interior of the building
The subfloor of the property
The roof void of the property
The roof exterior (subject to height and weather restrictions) of the property
Accessible surroundings within 30m of the central building and within the property boundary

8. This Report addresses only the following, as discernible to the Inspector at the time of the inspection: inspection:

Major Defects in Primary Elements, including Structural Damage and Conditions Conducive to Structural Damage; **Major Defects** in Secondary and Finishing Elements, and collective **Minor Defects** (unless individually deemed significant by the Inspector);
Serious Safety Hazards;
Detection or non-detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack, as discernible to the Inspector.

9. This Report is based on the observations and conclusions readily observable at the building or site, given the property's condition at the time of the inspection.
10. This Report does not include the inspection or assessment of items or matters beyond the Inspector's direct expertise.

Inspection Limitations

11. The inspection is limited to readily accessible areas of the building and site based on the Inspector's visual examination of surface work (excluding furniture and stored items) and may include the carrying out of tests.
12. For strata or company title properties, the inspection is confined to the interior and immediate exterior of the residence. Common property areas are not included, and the Inspector will not inspect these areas.

13. The Inspector's findings are limited by any restrictions or obstructions that prevented full assessment of the building or site, including:

Possible concealment of defects,
Undetectable or latent defects,
Areas obstructed at the time of inspection or not readily accessible,
Strata/common property areas.

14. **Photos & Findings:** While the inspection covered all accessible elements as outlined by the Australian Standard, the report highlights only a representative sample of each identified defect rather than every occurrence. Photos provided illustrate these issues, but problems often extend beyond the areas shown.

15. **Height:** Due to height restrictions, only a limited portion of the external areas above the ground floor were inspected. Features such as external windows, eaves, fascia, and similar elements may not have been fully examined. The inspection was restricted to accessible areas, and aspects of higher stories may not have been thoroughly assessed.

16. **Concrete Slab Homes:** When the edge of the slab is hidden by concrete paths, garden beds, lawns, pavers, or other obstructions, termites can enter the property without being immediately visible. This concealment allows termites to cause significant damage to hidden framing timbers before they are detected. Even experienced termite inspectors may have difficulty identifying termite activity if it is obscured by wall linings or other barriers. Termite presence is often only revealed when they damage timbers in the roof void, provided these are not hidden by insulation, or when other visible timbers are affected. If termite damage is found in the roof area, it is extremely likely that concealed framing timbers may also be severely damaged. It is essential to ensure that the edge of the concrete slab remains visible. This may require the total removal of soil, garden beds, paths, pavers, or other features that cover the slab edge. It is essential to keep at least 75mm of the slab edge exposed above ground level at all times. Additionally, weep holes should be kept unobstructed to ensure proper ventilation and to assist in the detection of termite activity.

17. **Roof Voids/Attics:** Inspecting roof voids or attics with insulation can potentially damage both the insulation and attic framing. If the attic has deep insulation or insulation covering the joists, full inspection is not feasible due to restricted visibility and accessibility. The inspection will be limited to viewing the roof void from the manhole. The Inspector will not enter a roof void or attic if it is deemed unsafe or if there is a risk of causing damage. Please be aware that if Reflective foil sheeting is present in the roof void it poses a major safety concern and makes the space unsafe to enter. Metal sheeting can become electrified due to the staples used to secure it, which can cause severe electrical hazards, including fatal accidents.

18. **Roof:** This report cannot guarantee that the roof will not leak now or in the future. To definitively determine watertightness, observation during prolonged rainfall is required. The inspection does not guarantee that roof components, such as flashing, will not develop leaks, nor does it verify if the roof cladding has been installed with the correct pitch.

19. **Gutter line Inspection:** The inspection of the external roof area was conducted from an elevated position or gutter line only, providing a visual assessment of accessible areas. Due to safety and accessibility limitations, the inspection was confined to visible components from these vantage points. The roof will not be walked on. Roof areas must be accessible via a 3.6m ladder used safely from ground level; any areas above this height were not inspected or reported on. For a comprehensive evaluation of inaccessible or concealed areas, further assessment may be recommended.

20. **Retaining Walls:** Retaining walls with a height of 700mm or more above ground level were examined solely through visual assessment. These wall/s must be designed and certified by a structural engineer. The performance and structural integrity of these walls are not covered by this inspection. To obtain a thorough evaluation, a structural engineer must conduct a detailed investigation. This investigation should consider several critical factors, including the effectiveness of drainage systems, load-bearing capacity, appropriate sizing of components, and the batter of the walls.

Reasonable Access

21. **Reasonable Access** means that the inspector has safe and clear entry to manholes or other access points without the need to move personal belongings. The following dimensions are considered reasonable for access:

Subfloor: A manhole of 40cm x 50cm, with a crawl space of 40cm x 50cm.

Roof Void: A manhole of 40cm x 50cm, with a crawl space of 60cm x 60cm.

Roof Exteriors: These areas must be accessible using a ladder of 3.6m in length, used safely from ground level.

22. If the clearance between the ground and the lowest point of the flooring components is less than 500mm, Australian Standard 3660 recommends excavating the ground to achieve the necessary clearance. Storing materials in the subfloor area is not advised, as it reduces ventilation, increases the risk of termite infestation, and complicates the inspection process.

23. The Client warrants that, to their reasonable knowledge, the building site is safe and free from hazardous materials, and does not pose a dangerous environment or workplace safety concern for the Inspector, agents, employees, or other personnel.

Exclusions

24. This Report does NOT cover the following:

Individual minor defects (unless deemed appropriate by the inspector)
 Costs for rectification or repair work
 Structural design or adequacy of construction elements
 Building compliance with Acts, codes, regulations, or by-laws
 Operation of fireplaces, chimneys, gas fixtures, and fittings
 Building, engineering, fire, and smoke detection or mechanical services
 Lighting or energy efficiency
 Swimming pools, associated equipment, spa baths, and related equipment
 Appliances or white goods, including dishwashers, refrigerators, ovens, stoves, and ducted vacuum systems
 Occupational, health, or safety issues, including asbestos content, safety glass, or lead-based paints
 Environmental, health, or biological risks, such as toxic mould
 Invasive inspection techniques, including unscrewing, cutting, breaking apart, dismantling, removing, or moving objects such as manholes, roof sheeting, ducting, foliage, insulation, sarking, furniture, appliances, or personal possessions
 Ground conditions, including fill, subsidence, swelling, shrinking, landslip, tidal inundation, or flood proneness or other geological-related issues.
 Inspection of common property areas or strata/company records in strata and company title properties
 Concealed damp proofing or framing timbers
 Magnesite flooring
 Adjoining properties

Important to Note

25. **Compliance** – Properties must comply with all council regulations, relevant Building Codes of Australia, and any applicable Australian Standards. Please be aware that this is NOT a Certificate of Compliance or a compliance report of any kind. It is a reasonable attempt to identify major defects/safety concerns visible at the time of the inspection.

26. **Concealed Defects** – This report does not address defects hidden from view or issues influenced by weather conditions, such as rising damp and leaks. It also excludes: document analysis, electrical installations, environmental factors like proximity to flight paths, railways, busy roads, and noise levels, health and safety concerns, heritage issues, illegal building or plumbing work, matters regulated solely by statute, neighbourhood issues, non-structural aspects of swimming pools and spas, security matters, site drainage beyond surface water drainage, and the durability of exposed finishes. Furthermore, any areas or items not accessible for inspection by the inspector are also excluded from this report.

27. **Cracking** – Please be aware that if any cracking is observed internally or externally in the floors, walls, ceilings, or external elements, we cannot guarantee that these issues will not worsen or expand over time, as such changes are unpredictable. We strongly recommend consulting a structural engineer for a more detailed evaluation and advice. This assessment is based on visible damage and may not identify all potential underlying problems. Please note that our inspection categorized cracks as follows:

Hairline Cracks (≤ 0.1 mm): Category 0 – No significant damage.

Fine Cracks (≤ 1.0 mm): Category 1 – Typically not needing repair.

Noticeable Cracks (≤ 5.0 mm): Category 2 – May require minor repairs; potential for doors and windows to stick.

Significant Cracks (> 5.0 mm, ≤ 15.0 mm): Category 3 – Likely requires extensive repairs; possible issues with doorframes and structural elements.

Severe Cracks (> 15.0 mm): Category 4 – Major repairs needed; significant structural concerns.

28. **Internal Inspections** – This inspection only covers the general condition of visible areas. Carpets, floor coverings, cupboards, cabinets, joinery, finishes, and fittings can obstruct access to the underside of flooring, potentially hiding defects or timber pest damage that may go undetected. The condition of walls behind coverings, panelling, and furnishings is not assessed. Additionally, wood-burning stoves and other fireboxes are outside the scope of this inspection. For added peace of mind, we recommend having these fireboxes tested before purchasing.

29. **Loading Capacity** – The loading capacity of elevated structures can vary significantly based on design, materials, and construction methods. Load-bearing capacity has not been tested or verified. To ensure safety and structural integrity, it is crucial that a licensed structural engineer examines all elevated structures to determine their maximum load limit.

Overloading the balcony beyond its designed capacity can lead to severe structural damage or failure. Always consult a structural engineer before adding any significant weight or making alterations to ensure compliance with safety standards and prevent potential hazards.

30. Rooms Below Ground Level – Any rooms located partially or fully below the external ground level are at a high risk of moisture ingress and dampness. Inadequate drainage around the property can exacerbate moisture issues, particularly during storms or periods of heavy rainfall. It's important to note that standard building and pest inspections are highly unlikely to detect subterranean issues. Therefore, it is strongly recommended to contact the local council to ensure that all rooms have received the necessary approvals.

31. No Guarantee – This report does not guarantee that defects or damage do not exist in areas that are inaccessible or partially accessible. For a more comprehensive evaluation of such areas, a special-purpose property report will need to be arranged.

32. Safety Glass – Older houses built before 1980 may have glazing that doesn't meet today's safety standards, such as AS1288:2021. To enhance safety, consider replacing glass panes in doors and windows, especially in high-traffic areas, with safety glass or applying shatterproof film. This will ensure your glass complies with modern safety requirements. If the existing glass already meets these standards, no additional action is needed. Regular updates and inspections can help keep your property safe and up to date.

33. Shower Recesses – Shower areas are visually inspected for leaks, but leaks may not be evident unless the shower is used extensively. Confirming the watertightness of shower areas and surrounds is beyond this inspection's scope. Proper sealing and ongoing maintenance are crucial, as minor imperfections can cause water damage. While tests may be conducted if water is connected, they may not detect leaks or improper waterproofing if temporary sealants, like silicone or masonry, are used. These sealants may last for months before failing. The inspection involves running water and visual checks, but prolonged use might reveal leaks not detected during the brief inspection. The absence of visible leaks during the inspection does not guarantee the absence of leaks.

34. Stairs and Balustrades – As per the National Construction Code Section 3.9, there are specific safety requirements for stairs, landings, and balustrades. Many of these features built before 1996 DO NOT meet current standards. To ensure safety, it is essential to upgrade older components to align with the latest regulations.

35. Surface Water and Drainage – Surface water runoff can impact foundation materials and, consequently, the property's footing. To mitigate this, ensure that water is directed away from the house or into stormwater pipes by hiring a licensed drainage plumber. This inspection does not cover the general adequacy of site drainage. Comments on surface water drainage are limited, as drainage effectiveness may seem adequate during dry periods but could prove insufficient during heavy rainfall. Any observations in this report are based on conditions at the time of inspection. For a thorough assessment, it is recommended further testing to identify any illegal connections, blockages, or broken drains.

36. Swimming Pools – Swimming pools and spas are not included in the standard building report as per AS4349.1-2007 and are not covered in this report. We strongly recommend consulting a pool expert to inspect the pool, its equipment, plumbing, and compliance with pool fencing standards. Neglecting this inspection and the necessary recommendations could lead to fines for non-compliance with regulations.

37. Thermal Imaging – Thermal imaging was conducted on the property to identify potential issues not visible to the naked eye. This advanced technique detects temperature variations within the building materials, helping to reveal hidden problems such as moisture intrusion, insulation deficiencies, and termite activity. It's important to note that the accuracy of thermal readings can be influenced by several factors, such as obstructions, ambient temperature, and wall thickness; these factors can hinder accurate thermal assessments. Thermal imaging falls outside the scope of the Australian Standards and has been used as an indication tool only. All observations and findings reflect the conditions at the time of the inspection.

38. Timber framed windows – Can sometimes bind or stick due to seasonal fluctuations in moisture content. This is usually a minor defect that may require a carpenter's adjustments. If the consultant notices fungal decay on the timber frames or deteriorated putty seals, they will avoid operating the windows to prevent damage. Similarly, windows that are sticking, binding, or painted shut will not be forcibly opened. Additionally, the presence of water leaks around windows and their surroundings cannot be assessed without rain.

39. Water Testing – Any water testing performed during the inspection was conducted for a limited duration. This short-term testing may not uncover potential issues that could become apparent with prolonged exposure or use. Extended water testing might reveal problems or leaks that were not detectable within the time constraints of the inspection. Therefore, while initial testing may not indicate any immediate issues, prolonged use could potentially expose problems that were not ascertainable at the time of the inspection.

40. Should the Client seek information related to one of the exclusions above, that information must be sourced externally.

Acceptance Criteria

41. The Inspector will compare the inspected building with similar buildings built around the same period. The building will be assessed against ordinary building construction practices at the time of construction and maintained to a

serviceable standard.

42. The Inspector assumes in their Report that the existing use of the building or site will continue unless specified otherwise in the Special Conditions or Instructions.

Timber Pest Findings

43. Borers - Borers are the larval stage of various beetle species. Adult beetles lay their eggs within timber, which then hatch into larvae that bore through the wood. These larvae may remain concealed in the timber for several years before entering a dormant pupal stage. In this stage, they metamorphose into adult beetles, which cut a hole in the timber's surface to emerge, mate, and lay new eggs, continuing the cycle. The presence of these emergence holes is typically the only sign of their activity. For further details, refer to the report if applicable.

Anobium punctatum (Furniture Beetle) commonly attacks softwood flooring, shelving timbers, and timber panelling. It can cause significant damage if untreated for many years. Infestation is usually observed in timbers that have been in use for 10 to 20 years or more.

Lyctus brunneus (Powder Post Beetle) attacks the sapwood of specific hardwood species. Structural timbers, which should contain less than 25% of *Lyctus*-susceptible sapwood, are less likely to be affected. For this reason, structural damage is rare, and replacement or treatment of affected timbers is generally not required.

Queensland Pine Beetle attacks flooring and wall timbers. It is difficult to confirm activity without damaging the timbers. It is advisable to assume current borer activity unless there is written evidence of recent treatment. For long-term solutions, replacing affected timbers is preferable. Chemical treatments may be considered as a less effective, lower-cost option. Such treatments are applied to the underside of soft pine flooring timbers and other affected timbers as needed. Non-commercial borers typically attack dead trees, logs, and tree stumps and are generally not a threat to timber used in buildings. No treatment is necessary for this species.

44. Drywood termites - Drywood termites are a species that infest hard and dry wood by flying into homes. Unlike other types of termites, such as subterranean termites, drywood termites do not require dampness in the wood to establish an infestation. Instead, they can thrive in dry wood environments. Drywood termites differ from dampwood termites in that they nest within the wood itself rather than in the soil. This nesting behaviour means that drywood termites can remain hidden inside wooden structures, making visual detection during inspection virtually impossible. It is advisable to seek a specialized invasive inspection if concerned about drywood termites.

45. Evidence of Termite Damage - Any timber damage identified in this report should be evaluated by a qualified builder. To thoroughly assess the extent of this damage, obtaining a special-purpose building report is crucial. Such an evaluation often requires invasive inspection techniques, including probing and the removal of lining materials, which were not performed during this inspection. It's important to understand that the severity and extent of timber damage may become significantly clearer with these invasive methods. Therefore, the damage described in this report is provided for the purpose of guiding treatment specifications and should not be used to determine repair or replacement costs. For an accurate assessment of the timber damage and associated costs, consult with a building expert who can perform a detailed inspection and provide a comprehensive evaluation.

46. Fungal decay (wood rot) - Fungal decay, commonly referred to as wood rot, is a significant issue related to timber pests. Both termites and wood rot thrive in environments with excessive moisture and warmth. Minor fungal decay can often be managed by removing the affected timber sections and filling the resulting gaps with a builder's filler. For areas with moderate decay, replacing the compromised timber sections is necessary. In cases of severe fungal decay, it is essential to replace the entire affected timber member, ideally with treated hardwood to prevent future issues. Timber used for outdoor applications is generally inadvisable due to its high susceptibility to rot and termite infestation. Regular maintenance, including proper painting, can help protect Oregon timber from decay but is not a complete solution.

47. Mould & Mildew - Mould, commonly referred to as mildew, is not classified as a timber pest. However, it is important to note that mould and its spores can trigger health issues and allergic reactions, such as asthma and dermatitis, in sensitive individuals. This inspection did not include an evaluation for mould, and no report regarding its presence or absence is provided. If you observe mould within the property and have concerns about potential health risks, it is advisable to consult with your Local Council, State or Commonwealth Health Department, or a qualified professional such as a Mould Inspector or an Industry Hygienist for further guidance.

48. No Guarantee - Please be aware that this report does not guarantee that the property is free from termites. While the inspection aims to identify visible signs of termite activity and potential risks, it cannot account for all possible hidden or undetectable termite infestations. Termites may be present in areas not accessible or visible during the inspection, and their activity can occur between inspections. For comprehensive protection and peace of mind, it is advisable to engage a licensed pest control specialist for ongoing monitoring and installation of a termite management plan to handle any potential termite issues.

49. Subterranean Termites - Subterranean termites pose a significant threat to properties, causing extensive economic damage to timber structures in Australia. Statistics from State Forests indicate that one in four homes will experience a termite infestation at some point. These termites are among the most destructive timber pests globally.

Termites often establish large underground colonies with hundreds of thousands of insects. When such a colony develops near your home, it can take advantage of the natural shelter and food resources your property offers. A single termite colony can extend its gallery system over an area of up to one hectare, with individual galleries reaching lengths

of 50 meters or more to access your home. Concrete slabs are not an effective deterrent, as termites can infiltrate through cracks in the slab or along its edges. Once they make contact with timber, they may hollow out the wood, leaving only a thin outer layer intact. If left unchecked, these destructive pests can inflict severe damage, potentially costing thousands of dollars in repairs and treatment.

50. Trees - Trees located close to a house can potentially impact the performance of the building's footings due to fluctuating moisture levels in the ground. It is advisable to have all trees and stumps on the property with a diameter greater than 100 mm visually inspected for signs of termite activity up to a height of 2 meters, where access allows. However, finding termite nests in trees can be challenging and is often not feasible because these nests are typically underground and evidence is usually well-hidden. Therefore, we strongly recommend arranging for trees to be test-drilled to check for termite nests.

Acknowledgments

51. This Report does not include recommendations or advice about matters outside the scope of the requested inspection.

52. If the Client has any queries or concerns about the purpose, scope, or acceptance criteria of this Report, these should be discussed with the Inspector before the inspection. This will provide the Client with sufficient time to seek legal counsel if desired.

53. The Client acknowledges their responsibility to take all reasonable steps to implement the recommendations and advice provided by the Inspector in the Report as a matter of urgency unless otherwise specified. Failure to act promptly may exacerbate existing defects over time.

54. The Client acknowledges that any additional discussions with the Inspector regarding this Report must take place within 14 days of its publication. Please be aware that any concerns addressed after the Report has been issued will not be included in the Report, and as a result, the Report may not reflect all advice or information related to the building or site provided by the Inspector.

55. The Client acknowledges that a visual-only inspection limits the Inspector's ability to conduct a thorough examination of the building or site. It is strongly recommended that an extended inspection, including additional testing, be performed for a more comprehensive assessment.

56. The Client acknowledges that in accordance with the AS4349.1 & AS4349.3 Australian standards for building inspections, this Report does not warrant or give insurance to the building or site for developing issues following the date of inspection.

57. The Client acknowledges their reports will be supplied as an electronic copy. Their report will very likely have some limitations caused by the restrictions of an inspection. These restrictions include any area that is subject to safety considerations. The Inspectors reserve the right to ensure their safety at all times.

58. The Client acknowledges that the Inspector may not report on asbestos, non-visual problems, or issues that are out of the Inspector's area of expertise. If a defect is not visible at the time of inspection, it cannot be reported on. This does not mean there are no defects.

59. The Client acknowledges that while the Inspector may be able to identify problems that are non-visual through the use of various tools and expertise, they cannot make assessments on the extent of hidden damage. This would require an invasive inspection by a certified tradesman.

60. The Client acknowledges that any recommendations to other Companies or Trades are supplied only as suggestions and that The Best Inspector Pty Ltd is not liable for any work they may undertake for the Client.

61. The Client acknowledges that neither The Best Inspector Pty Ltd nor its agent, the Inspector, shall be held liable for the content or findings of this Report. The Client agrees to indemnify and hold harmless The Best Inspector Pty Ltd and its agent, the Inspector, from any claims, awards, costs, legal fees, expenses, and other losses or damages, whether direct or indirect, arising from or related to the Report.

62. The Client acknowledges that The Best Inspector Pty Ltd may reproduce the content within this Report for any commercial purpose, including the sale of the Report in whole or in part to third parties, provided personal details or information of the Client contained therein are excluded.

63. The Client acknowledges that the contents of the Report are subject to the Scope of the Report, Inspection Limitations, Exclusions, and Acceptance Criteria.

64. The client agrees that they are solely responsible for their financial decisions and acknowledges that this document should not be solely relied upon in making any decisions. The client confirms that they have, or will, conduct their own due diligence prior to purchase. This includes but is not limited to, obtaining further inspections, conducting council and compliance checks, following recommendations and seeking advice from alternate trade professionals.

65. The Client Acknowledges payment for an inspection is due on or before the date of the inspection.

General Info

66. Building Inspectors - Please be advised that The Best Inspector Pty Ltd does not guarantee that any inspector will possess a particular type of license. Given the extensive range of specializations within the building and construction industry, it is unlikely to find an inspector with experience in every area of expertise. For specific concerns or requirements related to particular fields, we recommend consulting a licensed professional in the relevant area.

In New South Wales, building inspectors are not required to be licensed builders or hold specific qualifications, and they are not legally obligated to have insurance. Inspectors may come from diverse trade backgrounds and may have only on-the-job training rather than formal education or experience, leading to significant variations in their level of expertise.

67. Advice - All advice provided in this report should be regarded as general in nature. Should any defects or findings be identified, we strongly recommend seeking further investigation from a qualified professional who specializes in the relevant area.

Disclaimer and Recommendations

68. Price Estimate Disclaimer - Price estimates are not covered by Australian standards and if they are included in the report they should be considered as a rough guide only. These estimates represent the inspector's opinion or educated guess and are not guaranteed. The Best Inspector Pty Ltd does not promise that repairs will fall within the provided price range, as costs can vary based on the specifics of each case and are subject to assessment by the individual or company performing the repair. Where possible, prices have been cross-referenced with Rawlinson's Price Book Guide; however, this does not guarantee accuracy or applicability.

69. Extended Inspection Recommendation - The client acknowledges that, in order to maintain competitive pricing, inspections conducted by The Best Inspector Pty Ltd are typically completed within 1 to 2 hours and are priced accordingly. It is the inspector's professional opinion that many inspections would benefit from an extended evaluation. Such extended inspections can be arranged with prior notice and will incur additional costs. If a more comprehensive assessment is desired, please contact us to discuss and arrange the necessary arrangements before the scheduled inspection.

70. Invasive Inspection Recommendation - This report is based on a visual inspection, which inherently has its limitations. For a more thorough examination, we offer an invasive physical inspection upon request. This detailed inspection requires the property owner's written permission and involves moving or lifting insulation, stored items, furniture, and foliage. We will physically engage with suspected areas by touching, tapping, testing, or forcefully examining accessible timbers. To access necessary areas, we may cut access holes and traps. This type of inspection requires several days' notice and will take more time than a visual inspection. It will cause disruption in occupied properties, and some permanent markings are highly likely. The property owner must provide written consent, and the client agrees that The Best Inspector Pty Ltd will not be responsible for any damage incurred during the inspection. For pricing information, please contact us.

71. Past Building Work - This report does not address the legal or regulatory compliance of past building work or home improvements. It is crucial to engage a solicitor to ensure that all previous modifications or improvements to the property have received the necessary approvals and meet local building regulations. The inspector cannot verify the legality or compliance of past works, and the responsibility for confirming and addressing any issues related to approvals rests with the property owner/prospective buyer.

72. Additional Inspections - The Client understands that additional inspections are necessary for a thorough evaluation of the property. Specifically, the Client agrees to seek further inspections from qualified professionals for electrical systems, plumbing and drainage, smoke alarms, telecommunications, gas services, and hot water systems and pest control. These additional inspections are crucial for ensuring the safety and proper functioning of these systems beyond the scope of the initial report.

Dispute Resolution

73. Resolution Efforts - The Client agrees that, in the event of a dispute, every reasonable effort will be made to resolve the issue directly with the Inspector. If these efforts are unsatisfactory and the dispute remains unresolved, the Client may email the company to initiate the dispute resolution process.

74. Limitation Period - The Client must contact The Best Inspector Pty Ltd via email within 28 days of the inspection to outline any concerns. The Client agrees that concerns raised after this period will exempt the company from addressing the matter.

75. Re-Inspection and Response - The Client agrees to allow the Inspector or their authorized agents to re-attend the property to investigate the concern and will provide unrestricted access for this purpose. After the investigation, the Client will receive an emailed response within 28 days of the re-inspection addressing the dispute.

76. Mediation and Legal Costs - If the dispute cannot be resolved, independent private mediation may be required at the shared expense of the Client and The Best Inspector Pty Ltd. Should mediation fail or not be pursued, and the matter escalates to arbitration or court, the Client acknowledges and agrees to be responsible for all legal costs, awards, and judgments incurred by The Best Inspector Pty Ltd or its agent, The Inspector.

77. Liability and Compensation - The Client agrees to release The Best Inspector Pty Ltd and its agent, The Inspector, from financial liability, regardless of the cause. The Best Inspector Pty Ltd and its agent disclaim all liability to the fullest extent permitted by law for any defects, negligence, errors, or omissions contained within this report. If compensation is warranted, it will be limited to a full refund of the inspection fee.

Final Note

78. Thank you - for choosing Best Inspector Pty Ltd. We're delighted to have had the opportunity to work with you. If you have any questions or need further assistance, please feel free to reach out. We look forward to serving you again in the future.

Sincerely,

THE BEST INSPECTOR PTY LTD

ACN 663001269



Timber Pest Findings

AS 3660.2 Termite Management – Part 2: In and Around Existing Buildings and Structures – Guidelines: Provides guidelines for managing timber pests and termites.
 AS 3660.3 Assessment Criteria for Termite Management Systems: For assessing termite management systems.

Additional Information

A list of relevant building codes and standards has been provided for your reference should you wish to conduct further research on the property's requirements. Please note that this is **NOT** a compliance inspection and does not guarantee that the building adheres to any of the listed legislation, standards, guides or codes.

In New South Wales, the following principal pieces of legislation and standards apply to residential building construction:

Legislation:

1. Home Building Act 1989 No 147
2. Home Building Regulation 2014
3. Plumbing and Drainage Regulation 2012
4. AS/NZS 3000:2001 Electrical Wiring Rules

National Construction Code Series 2016:

Volumes 1, 2, & 3 - Building Code of Australia (BCA)

Australian Standards:

1. AS 1684 - Residential Timber-Framed Construction
2. AS 1860.2 - Particleboard Flooring – Installation
3. AS 2047 - Windows in Buildings – Selection and Installation
4. AS 2783 - Use of Reinforced Concrete for Small Swimming Pools
5. AS 2796.1 - Timber – Hardwood – Sawn and Milled Products
6. AS 2870 - Residential Slabs and Footings
7. AS 3958.1 - Ceramic Tiles – Part 1: Guide to the Installation of Ceramic Tiles
8. AS 3958.2 - Ceramic Tiles – Part 2: Guide to the Selection of a Ceramic Tiling System
9. AS 3660.2 - Termite Management – Part 2: In and Around Existing Buildings and Structures – Guidelines
10. AS 3700 - Masonry Structures
11. AS 3727 - Guide to Residential Paving
12. AS 3740 - Waterproofing of Domestic Wet Areas
13. AS 4440 - Installation of Nail-Plated Timber Roof Trusses
14. AS 4654 - Waterproofing Membranes for External Above-Ground Use
15. AS 4773.2 - Masonry in Small Buildings – Construction

- 16. AS/NZS 1839 - Swimming Pools – Premoulded Fibre-Reinforced Plastics – Installation
- 17. AS/NZS 2311 - Guide to the Painting of Buildings
- 18. AS/NZS 2589 - Gypsum Linings – Application and Finishing
- 19. AS/NZS 3500.3 - Plumbing and Drainage – Part 3: Stormwater Drainage
- 20. AS/NZS 4386.1 - Domestic Kitchen Assemblies – Kitchen Units

CSIRO Documents:

- 1. BTF17-2011 - Plant Roots in Drains – Prevention and Cure
- 2. BTF18-2011 - Foundation Maintenance and Footing Performance: A Homeowner's Guide
- 3. BTF19-2011 - A Builder's Guide to Preventing Damage to Dwellings: Part 1 – Site Investigation and Preparation
- 4. BTF22-2008 - A Builder's Guide to Preventing Damage to Dwellings: Part 2 – Sound Construction Methods
- 5. TR 90/1 - Illumination and Decoration of Flat Surfaces – 5th Edition (Revised)

Additional Resources:

ABCB Handbook - Condensation in Buildings (2014) available at ABCB Publications
NSW GUIDE TO STANDARDS AND TOLERANCES 2017